

REFERENCES:

CITY OF CRANSTON, CLERK'S OFFICE

PLAT CARD 167 ENTITLED
"Elisha Westcott Plat"

PLAT CARD 838 ENTITLED
"Tacoma Ave. Survey"
Dd. Bk. 2584, Pg. 80

CITY OF CRANSTON, DEPT OF PUBLIC WORKS
Sewer As-Built - Pocasset Part 9, Sht 15

ZONING NOTES:

ALL LOTS SHOWN ARE LOCATED IN AN A-6 ZONE
A-6 ZONING REQUIREMENTS: (Single Family)

AREA 6,000 S.F. MIN.
FRONTAGE 60' MIN.
FRONT SETBACK 25' MIN.
REAR SETBACK 20' MIN. (5' Min. Accessory Use)
SIDE SETBACK 8' MIN. (5' Min. Accessory Use)
BLDG. HEIGHT 35' MAX.
LOT COVERAGE 30% MAX.

LOT COVERAGE CALCULATIONS

LOT AREA = 4,800 S.F.
PROPOSED DWELLING 1,074 S.F.
PROPOSED DECK 144 S.F.
PROPOSED PORCH 114 S.F.
TOTAL AREA 1,332 S.F.
1,332 S.F./4,800 S.F. = 27.8%

FEMA INFO:

ALL LOTS ARE LOCATED WITHIN A DESIGNATION
"X" (AREAS OF MINIMAL FLOODING) ZONE
PER F.I.R.M. 44007C00311H, 10/02/2015.

CERTIFICATION:

This Survey has been conducted and the Plan prepared
pursuant to Section 9 of the Rules and Regulations
adopted by the Rhode Island Board of Registration
for Professional Land Surveyors.

SITE PLAN SURVEY - CLASS I

The Purpose and the Conduct of the Survey and for the
Preparation of the Plan is as Follows:

To Demonstrate the Location and Dimensions of Site Features,
Property Lines, Proposed Dwelling and prepare Site Plan for Tacoma St.
on Lots 756, Assessor Plat 12/2 in the City of Cranston.

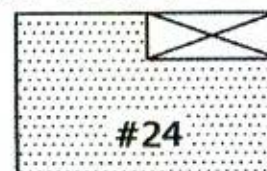
By: Walter P. Skorupski 4/26/2025

Walter P. Skorupski
Registered Professional Land Surveyor
LS A135-COA



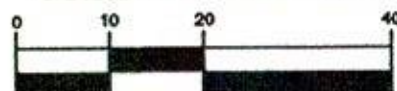
S.M.H.
Sta. 2+57.3
Rim. = 94.0
Inv. = 88.36

A.P. 12/2, Lot 755
N/F Mohamad Zeyad Sassa
Dd. Bk. 4927, Pg. 208

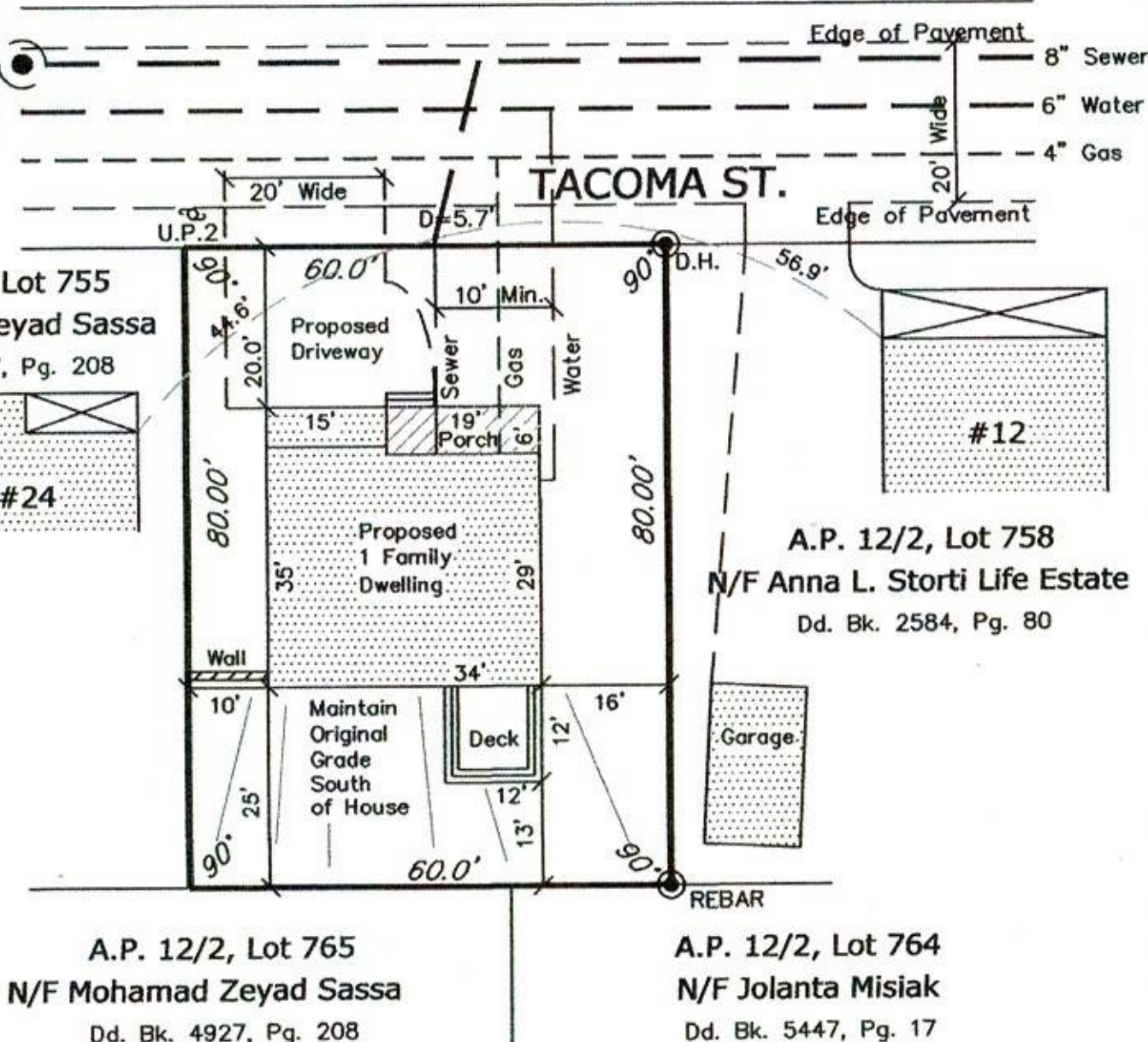
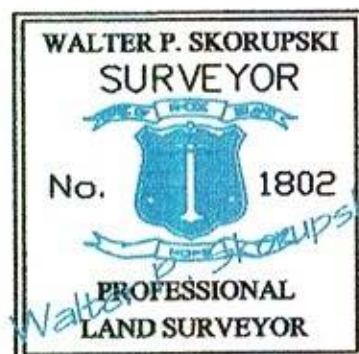


Zoning Code 17.20.110-C "Required Front Yards in Developed Blocks".		
A.P. LOT#	ADDRESS	FRONT SETBACK
12/2, 759	832 Atwood Ave.	5.7'
12/2, 758	12 Tacoma St.	12.2'
12/2, 755	24 Tacoma St.	18.7'
12/2, 752	34 Tacoma St.	28.4'
12/2, 751	42 Tacoma St.	25.0'
AVERAGE FRONT SETBACK		18.0'

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



A.P. 12/2, Lot 765
N/F Mohamad Zeyad Sassa
Dd. Bk. 4927, Pg. 208

A.P. 12/2, Lot 764
N/F Jolanta Misiak
Dd. Bk. 5447, Pg. 17

DIGSAFE:

All underground utilities have been located using the best
available information. It is advised that prior to any
excavation or construction, all utilities be verified by the
appropriate utility companies and by DIGSAFE (1-888-344-7233)

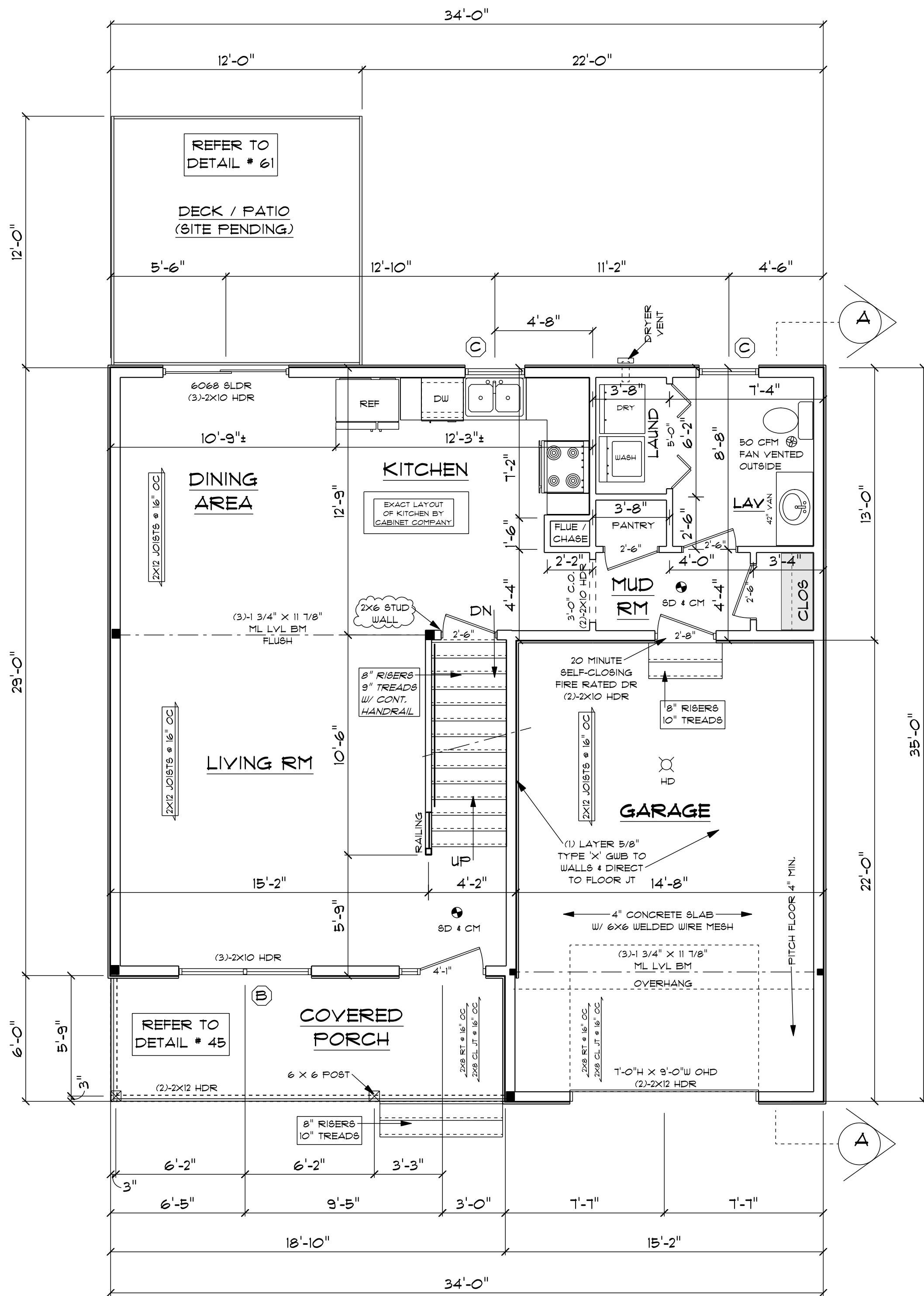
Owners:

Anna L. Storti
218 Lake Garden Drive
Cranston, R.I. 02920

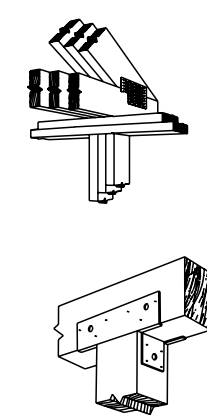
April, 2025

PROPOSED SITE PLAN

CITY OF CRANSTON
TACOMA STREET
ASSESSORS PLAT 12/2
LOT 756



FIRST FLOOR PLAN 1/4"=1'-0"

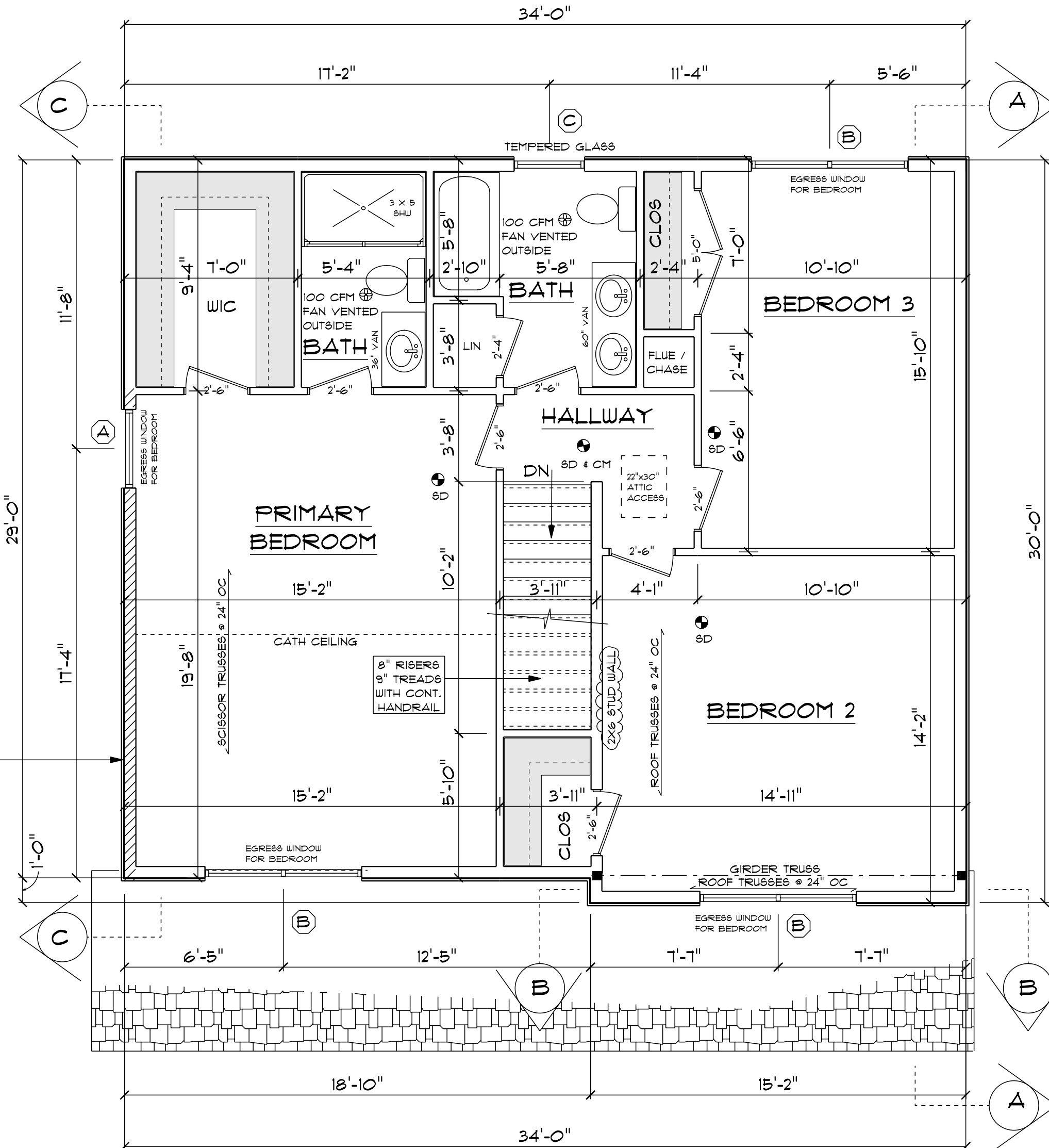


PROVIDE SIMPSON TYPE POST CAP AT ALL SPLICES AND CONTINUOUS BEAM CONNECTIONS

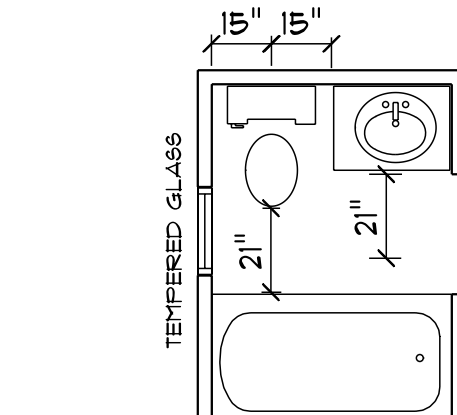
SEE STRUCTURAL PLANS AND NOTES FOR REQUIRED CONNECTORS AND ANCHOR REQUIREMENTS

ISOMETRIC CONNECTIONS

PRELIMINARY PLANS ONLY FOR ZONING AND PRICING ONLY



SECOND FLOOR PLAN 1/4"=1'-0"



WATER CLOSET (TOILET): 15" MIN. CLEARANCE EACH SIDE TO WALLS, TUB/SHOOWER, OR VANITY, U.C., VANITY, 4" TUB MINIMUM FRONT CLEARANCE + 2"

GLAZING: TEMPERED GLASS REQUIRED IN BATHROOMS WITH TUB OR SHOWER

MINIMUM BATH FIXTURE CLEARANCE

SCALE: 1/4" = 1'-0"

LEGEND:

- SOLID BEARING TO FOUNDATION
- SD SMOKE DETECTOR
- SD & CM SMOKE DETECTOR & CARBON MONOXIDE
- HU HOT WATER
- HU HEATING UNIT/ BOILER
- 50 or 100 CFM FAN VENTED TO OUTSIDE
- WINDOW UNIT NUMBER
- HD HEAT DETECTOR (GARAGE)
- XL EXTERIOR LIGHT (IF APPLICABLE)
- T.G. TEMPERED GLASS (HAZARDOUS LOCATIONS)

WINDOW SCHEDULE

TYPICAL HEADER + (3-2X10 (DBL JACK REQUIRED FOR OPENINGS OVER 6'-0")
 TYPICAL HEADER HEIGHT + 6'-4" (EXCEPTIONS ARE NOTED ON PLANS)

NOTE: ALL LUMBER SPECIES FOR HEADERS, JOISTS, AND BEAMS TO BE KD SPRUCE NO. 2 OR BETTER. ALL LOADS FOR FLOOR JOISTS, BATTERS, HEADERS AND BEAMS ARE BASED ON THE FOLLOWING:
 FLOOR JOISTS LIVING AREAS: 40 PSF LIVE LOAD 20 PSF DEAD LOAD
 FLOOR JOISTS SLEEPING AREAS: 30 PSF LIVE LOAD 20 PSF DEAD LOAD

HARVEY WINDOWS MIN. U-FACTOR .28						
UNIT	ROUGH OPENING	TYPE	QTY	AREA / SILL FRF	NET AREA	DESIGN PRESSURE
A	3'-2" X 5'-1 1/2"	DH	1	15.5 / 1.9'	5.60	30
B	3'-0 1/2" X 5'-1 1/2"	DH MUL	4	30.0 / 1.9'	5.60 EA	30
C	2'-10" X 3'-5 1/2"	DH	3	9.5 / 3.5'	3.31	30
D						
E						
F						
G						
H						

ALL TEMPERED WINDOWS ARE CALLED OUT ON FLOOR PLANS: BOTH PANES TO BE TEMPERED

DOOR SCHEDULE

TYPICAL HEADER + (3-2X10 (DBL JACK REQUIRED FOR OPENINGS OVER 6'-0")
 TYPICAL HEADER HEIGHT + 6'-4" (EXCEPTIONS ARE NOTED ON PLANS)

INTERIOR AND EXTERIOR DOOR SIZES ARE NOTED ON PLANS.
 INTERIOR DOORS: 6'-10" HIGH (TYPICAL)
 EXTERIOR DOORS: 6'-10" HIGH (TYPICAL)

DESIGN PRESSURE		DESIGN PRESSURE REQUIRED	DESIGN PRESSURE PROVIDED
WIND ZONE: 100 MPH WIND EXPOSURE: B HEIGHT (MAX.): 35'-0" PRESSURE ZONES: 4 + 5		18.0 / -18.5	30

EMERGENCY ESCAPE & RESCUE OPENINGS FOR BEDROOMS

R302.1 MINIMUM OPENING AREA

EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ. FT. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM INSIDE. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES.

R302.2 WINDOW SILL HEIGHT

WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA.

RHODE ISLAND ONE & TWO FAMILY DWELLING CODES 2021 INCORPORATES THE INTERNATIONAL RESIDENTIAL CODE 2018 EDITION. RHODE ISLAND ENERGY CONSERVATION CODES INCORPORATES INTERNATIONAL ENERGY CODES, 2024 EDITION.

CLIMATE & GEOGRAPHIC DESIGN CRITERIA									
AS PER 8.3012 OF THE RI ONE & TWO FAMILY DWELLING CODES									
GROUND SNOW LOAD	WIND ZONE	TOPOGRAPHIC IMPACTS	SUBJECT TO DAMAGE FROM WEATHERING			WATER DESIGN TEMP	ICE BARRIER LATERAL REQUIRED	FLOOD HAZARDS	
30 PSF	1-100 MPH	NO	SEVERE	DEPT	TERMINAL	DECAY	0 DEG F IN PROV. CONTY	YES (SEE GCM FREQ)	

INSULATION & PENETRATION REQUIREMENTS DESIGN CRITERIA									
AS PER R402.1.3 OF THE RI ONE & TWO FAMILY DWELLING CODES									
CLIMATE ZONE	PENETRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED PENETRATION U-FACTOR	CEILING R-VALUE	WOOD FRAINED WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	UNEATED SUB R-VALUE
5	0.28	0.50	NR	48	32 OR 20S	13 / 17	30	15	R10 FOR 3'-0"

PLANS HAVE BEEN PREPARED BASED ON A SOIL CAPACITY OF 2000 LBS / SF

TYPICAL LOAD DESIGN: 40 PSF LIVING AREA LOADS
 30 PSF SLEEPING AREA LOADS
 20 PSF DEAD LOADS
 20 PSF ATTIC LOADS
 60 PSF EXTERIOR DECK LOADS
 30 GSF SNOW LOADS

FROST DEPTH: MINIMUM 3'-4" DEEP
 TYPICAL CONSTRUCTION TYPE: B5

BUILDING HEIGHT: (MAXIMUM 35'-0") VERIFY WITH CITY / TOWN

ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL & STATE REGULATION. THE CONTRACTOR SHALL PROTECT & INDEMNIFY THE DESIGNER AGAINST ANY CLAIM OR LIABILITY ARISING FROM VIOLATION OF ANY SUCH CODE OR REGULATION.

ALL INSTALLATION AND APPLICATIONS SHALL CONFORM TO MANUFACTURER'S SPECS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

ALL SECTIONS, DETAILS, ETC SHOWN ON ANY PLAN SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED

ALL DIMENSIONS, NOTES, AND OTHER INFORMATION CONVEYED IN THESE DRAWINGS FOR CONSTRUCTION PURPOSES ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED IN FIELD BY BUILDER / CONTRACTOR ACCORDING TO LOCAL AND STATE BUILDING CODES.

THIS DRAFTSPERSON SHALL NOT BE RESPONSIBLE FOR ANY CHANGES THAT WOULD MAKE THE STRUCTURE PHYSICALLY UNSAFE.

UNFORESEEN SITE CONDITIONS MAY CAUSE A DEVIATION FROM THE CONSTRUCTION DOCUMENTS AND IS THE RESPONSIBILITY OF THE BUILDER / CONTRACTOR TO INSURE STRUCTURAL STABILITY AND CONFORMANCE TO APPLICABLE CODES.

29 X 34 COLONIAL

PREPARED FOR:
 DENALI BUILDING COMPANY

LOT 156, TACOMA STREET
 CRANSTON, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY

DLR DIMENSIONS, INC.
 DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES

EST. 1985

DLR DIMENSIONS

RESIDENTIAL DESIGNERS & CONSULTANTS

401.738.3156

DLRDIMENSIONS.COM

DLR DIMENSIONS, INC. IS NOT LIABLE FOR CHANGES TO NOTES AND/OR DRAWINGS. BUILDER/CONTRACTOR MUST VERIFY ALL DIMENSIONS AND INSURE COMPLIANCE WITH LOCAL CODES PRIOR TO AND DURING CONSTRUCTION.

SCALE NOTED

DATE

Tuesday, May 6, 2025

APPROVED

DRR

DRAWN BY

DRR

DRAWING NUMBER

6652-156



FRONT ELEVATION 1/4"=1'-0"

NOTE:
GUARD RAILS NOT REQUIRED UNLESS
DECK IS 30" ABOVE GRADE



BACK ELEVATION 1/4"=1'-0"

GENERAL REQUIREMENTS

TYPICAL WINDOWS:
PLANS REFLECT EGRESS WINDOWS IN ALL BEDROOMS
AS PER CODE R310.1 (MINIMUM 5.7 SQ FT)
PLANS REFLECT AGGREGATE GLAZING OF A MINIMUM 8%
FOR ALL HABITABLE ROOMS WITH AN OPENABLE AREA TO
THE OUTDOORS NO LESS THAN 4% OF THE FLOOR
AREA AS PER CODE R303.1

TYPICAL DETECTORS:
HEAT, SMOKE & CARBON DETECTORS
TO BE LOCATED ON PLANS AS PER
FIRE PROTECTION CODE R314 & R315

TYPICAL ATTIC ACCESS:
PROVIDE MINIMUM OF A 22" X 30" ATTIC ACCESS OPENING
WITH A VERTICAL CLEARANCE OF NOT LESS THAN 30"
AS PER CODE R801.1

TYPICAL TRUSS SYSTEM:
TRUSSES TO BE DESIGNED, HANDLED, INSTALLED
AND BRACED IN ACCORDANCE WITH TFI RECOMMENDATIONS
CONTRACTOR TO PROVIDE APPROVED TRUSS ENGINEERING
AND LAYOUT TO BUILDING OFFICIAL PRIOR TO
START OF CONSTRUCTION.

TYPICAL SUBCONTRACTOR TRADES:
HVAC, ELECTRICAL AND PLUMBING DESIGN & CONSTRUCTION
TO BE SPECIFIED BY CONTRACTOR / SUBCONTRACTOR
AND CONFORM TO ALL APPLICABLE CODES & REQUIRED STANDARDS
CORRESPONDING CONSTRUCTION DOCUMENTS
SHALL BE PROVIDED BY CONTRACTOR (IF REQUIRED)
LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, BOXES, ETC
TO BE SPECIFIED BY CONTRACTOR / SUBCONTRACTOR

TYPICAL NAILING SCHEDULE

TYPICAL FLOOR:
JOIST TO SILL OR GIRDER, TOE NAIL (3) 8D
RIM JOIST TO JOIST (3) 16D
3/4" DECK SHEATHING TO FRAMING 8D COMMON NAIL
OR 14GA, 13/4" STAPLE, OR 1 1/2" RING OR SCREW SHANK
NAILS @ 6" FROM EDGE 12" OC

TYPICAL BUILT-UP GIRDERS AND BEAMS:
NAIL EACH LAYER WITH 10D NAILS @ 32" OC
AT TOP AND BOTTOM STAGGERED
TWO NAILS AT ENDS AND AT EACH SPLICE

TYPICAL WALLS:
BOTTOM PLATE TO JOIST 16D @ 16" OC
STUD TO BOTTOM PLATE (2) 16D OR (3) 8D
STUD TO TOP PLATE (2) 16D OR (3) 8D
DOUBLE TOP PLATE (2) 10D @ 24" OC
DOUBLE STUDS (2) 16D OR (3) 8D @ 16" OC
PLATE LAPS AT CORNERS AND INTERSECTIONS (4) 10D
1/2" WALL SHEATHING TO FRAMING 6D OR 15 GA, 1 1/2"
STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS
@ 6" FROM EDGES 12" OC

TYPICAL BUILT-UP HEADERS:
THREE PIECES WITH 1/2" SPACER 16D @ 16" OC
ALONG EACH EDGE

TYPICAL ROOF:
CEILING JOIST TO PLATE, TOE NAIL (3) 8D
CEILING JOIST LAP OVER PARTITION FACE NAIL (3) 10D
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL (5) 16D
RAFTER TO PLATE, TOE NAIL (2) 16D
5/8" T&G ROOF SHEATHING TO FRAMING 6D OR 15 GA, 1 1/2"
STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS
@ 6" FROM EDGES 12" OC

TYPICAL FRAMING SCHEDULE

TYPICAL MATERIAL REQUIREMENTS:
ALL FRAMING LUMBER TO BE
SPF #2 GRADE OR BETTER

TYPICAL SHEATHING:
FLOOR TO BE 3/4" THICK T&G OSB / PLYWOOD
(OR EQUIVALENT) GLUED AND SCREWED
ROOF TO BE 5/8" THICK T&G OSB / PLYWOOD
(OR EQUIVALENT)
WALL TO BE 1/2" (11/16") THICK
EXTERIOR GRADE OSB / PLYWOOD (OR EQUIVALENT)

TYPICAL FLOOR FRAMING:
ALL FLOOR JOISTS TO OVERLAP MIN 3"
SQUASH-BLOCKING TO BE ADDED
AS REQUIRED TO TRANSFER POINT LOADS
DOWN TO FOUNDATION

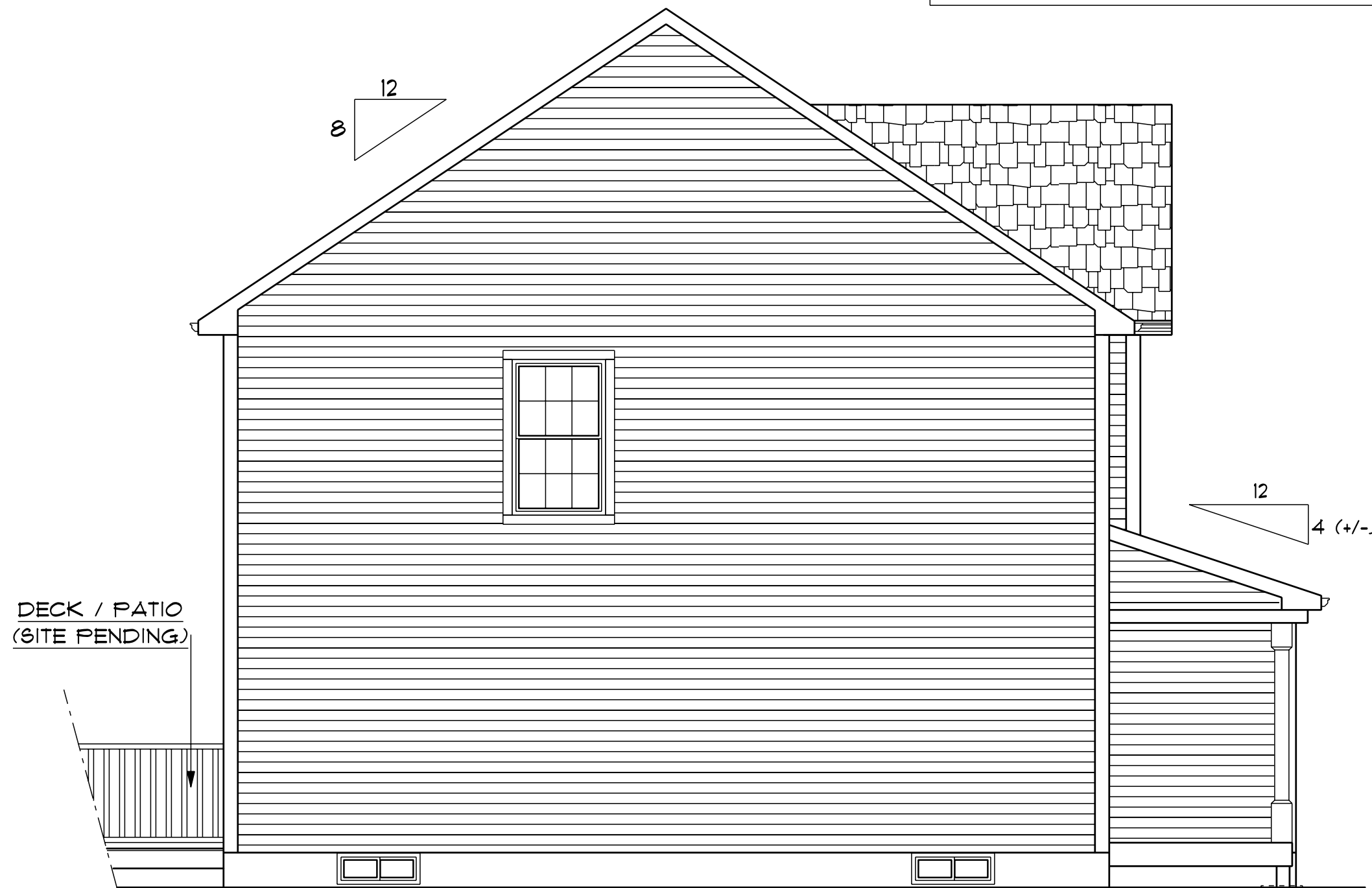
TYPICAL EXTERIOR DECK:
ALL DECK FRAMING MATERIALS
TO BE PRESSURE-TREATED
AND ALL HARDWARE TO BE GALVANIZED
ALL CUT-ENDS OF PRESSURE-TREATED LUMBER
TO BE COATED FOR PROTECTION

TYPICAL FLASHING:
CORROSION RESISTANT FLASHING SHALL BE APPLIED
AT ALL WINDOWS & DOORS, CHIMNEY, END OF MASONRY
WALLS, PORCHES, DECKS, ETC AS PER CODE R103.4
PROVIDE FLASHING AT WALLS & ROOF INTERSECTIONS
AS PER CODE R303.2.1

TYPICAL WEATHERSTRIPPING:
PROVIDE WEATHERSTRIPPING & INSULATION BETWEEN
CONDITIONED & NON-CONDITIONED SPACES
AS PER CODE N102.2.1

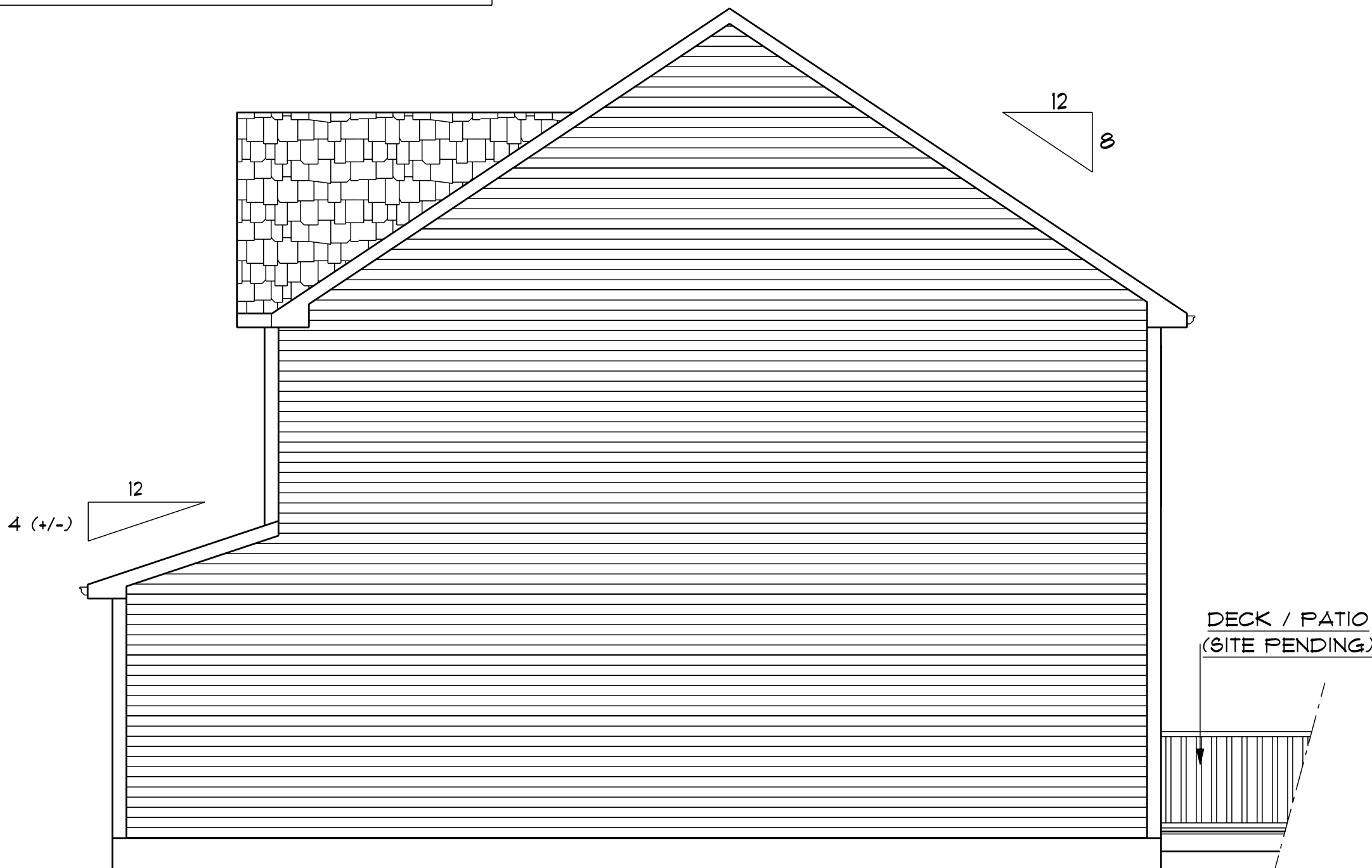
TYPICAL ROOF FRAMING:
ALL ROOF RAFTERS TO OVERLAP MIN 3"
SQUASH-BLOCKING TO BE ADDED
AS REQUIRED TO TRANSFER POINT LOADS
DOWN TO FOUNDATION

**PRELIMINARY PLANS ONLY
FOR ZONING AND PRICING ONLY**



LEFT SIDE ELEVATION 1/4"=1'-0"

NOTE:
GUARD RAILS NOT REQUIRED UNLESS
DECK IS 30" ABOVE GRADE



RIGHT SIDE ELEVATION 1/4"=1'-0"

29 X 34 COLONIAL
PREPARED FOR:
DENALI BUILDING COMPANY
LOT 156, TACOMA STREET
CRANSTON, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED
FOR SINGLE-USE ONLY
DLR DIMENSIONS, INC.
DOES NOT PERMIT THE USE OF PLANS
THAT HAVE BEEN TAMPERED WITH
BY OUTSIDE PARTIES

EST. 1982
DLR DIMENSIONS
RESIDENTIAL DESIGNERS & CONSULTANTS
401.738.3156
DLRDIMENSIONS.COM

DLR DIMENSIONS, INC.
IS NOT LIABLE FOR
ANY CHANGES TO NOTES
OR DRAWINGS
BUILDER/CONTRACTOR
MUST VERIFY
ALL DIMENSIONS AND
LOCAL CODES
PRIOR TO AND
DURING CONSTRUCTION

**SCALE
NOTED**

DATE
Tuesday, May 6, 2025

APPROVED

DRR

DRAWN BY

DRR

DRAWING NUMBER

6652-156



Abbuter's List: 0 Tacoma St 400' Radius Plat 12 Lot 756

<u>Property ID</u>	<u>Location/Land Use Description</u>	<u>Owner(s)</u>
12-1529-0	59 IMPERIAL AVENUE SINGLE FAM MDL01	ARLENE M FISH TRUSTEE 59 IMPERIAL AVENUE CRANSTON, RI 02920-2318
12-1532-0	IMPERIAL AVENUE RES LD UND	ARLENE M FISH TRUSTEE 59 IMPERIAL AVENUE CRANSTON, RI 02920-2318
12-1535-0	55 IMPERIAL AVENUE RES OTH IM MDL00	MILTON KALASHIAN MICHAEL NARDONE ESTATE 54 ARMAND WAY HOPE, RI 02831-1128
12-1538-0	51 IMPERIAL AVENUE SINGLE FAM MDL01	MADISON T COOK 51 IMPERIAL AVE CRANSTON, RI 02920-2318
12-1540-0	50 IMPERIAL AVENUE SINGLE FAM MDL01	DIEGO ENRIQUE MASGONZALEZ BRIANNA MARIA CARLINO T/E 50 IMPERIAL AVENUE CRANSTON, RI 02920-2319
12-1541-0	45 IMPERIAL AVENUE SINGLE FAM MDL01	JOHN FRAZIER BERNADETTE FRAZIER 45 IMPERIAL AVE CRANSTON, RI 02920
12-1546-0	3 CRUZ STREET SINGLE FAM MDL01	JACQUELINE J MOLINA GIANCARLO MOLINA T/E 3 CRUZ ST CRANSTON, RI 02920-2316
12-1547-0	31 IMPERIAL AVENUE TWO FAMILY	ERNIE C RICCI DONNA RICCI 2 EAST PARK STREET JOHNSTON, RI 02919-6312
12-1549-0	29 IMPERIAL AVENUE SINGLE FAM MDL01	VICTORIA L P LANKFORD MASON V LANKFORD 29 IMPERIAL AVENUE CRANSTON, RI 02920-2140
12-1550-0	25 IMPERIAL AVENUE SINGLE FAM MDL01	ROBERT LENNOX ALEXANDER LAUREN ALLYN LEBLANC JT 25 IMPERIAL AVENUE CRANSTON, RI 02920-2140
12-1551-0	0 IMPERIAL AVENUE RES LD UND	ROBERT LENNOX ALEXANDER LAUREN ALLYN LEBLANC JT 25 IMPERIAL AVENUE CRANSTON, RI 02920-2140
12-1552-0	15 IMPERIAL AVENUE TWO FAMILY	KAROLYE BETH CUNHA FERNANDO S CUNHA TRUSTEES 177 BROWN STREET PROVIDENCE, RI 02906
12-1553-0	9 IMPERIAL AVENUE TWO FAMILY	ABDELMAJID ELHARIT SUSAN A BAGLINI ELHARIT T/E 9 IMPERIAL AVE CRANSTON, RI 02920-2140
12-1554-0	796 ATWOOD AVENUE LRG BUS MDL94	GIOVANNA SCOTTO DIUCCIO 25 MARLOW ST CRANSTON, RI 02920-2114
12-1601-0	89 CRUZ STREET SINGLE FAM MDL01	NICOLE MORANCEY 89 CRUZ ST CRANSTON, RI 02920-2315
12-1605-0	22 IMPERIAL AVENUE SINGLE FAM MDL01	CHERYL CROCKER 22 IMPERIAL AVE CRANSTON, RI 02920
12-1608-0	44 ROCKWOOD AVENUE SINGLE FAM MDL01	GIUSEPPE LANNI LAURA A LANNI T/E 44 ROCKWOOD AVE CRANSTON, RI 02920
12-1609-0	0 IMPERIAL AVENUE RES LD UND	LORI JO CRETA 12 IMPERIAL AVE CRANSTON, RI 02920
12-1611-0	12 IMPERIAL AVENUE SINGLE FAM MDL01	LORI JO CRETA 12 IMPERIAL AVE CRANSTON, RI 02920

<u>Property ID</u>	<u>Location/Land Use Description</u>	<u>Owner(s)</u>
12-1613-0	786 ATWOOD AVENUE LRG BUS MDL94	GARY A BALLETO 786 ATWOOD AVENUE CRANSTON, RI 02920-2565
12-2866-0	871 ATWOOD AVENUE LRG BUS MDL94	STEPHEN J SIMEONE ALBERTA SIMEONE T/E 871 ATWOOD AVENUE CRANSTON, RI 02920-2553
12-3077-0	0 ATWOOD AVENUE RES OTH IM MDL00	JEFFREY HENDERSON 12006 SW 9TH MANOR DAVIE, FL 33325-3855
12-3169-0	59 TIFFANY STREET SINGLE FAM MDL01	MARIE A DIRAIMO LIFE ESTATE 59 TIFFANY STREET CRANSTON, RI 02920-2322
12-324-0	52 CLEMENCE STREET TWO FAMILY	JOANNA SUSIN TRUSTEE 52 CLEMENCE ST CRANSTON, RI 02920-2513
12-326-1	44 CLEMENCE STREET RES CONDO MDL05	JENNIFER M MARVEL 44 CLEMENCE STREET CRANSTON, RI 02920
12-326-2	46 CLEMENCE STREET RES CONDO MDL05	GERRICK VANDEUSEN BREANNA R LEPORE JT 46 CLEMENCE STREET CRANSTON, RI 02920-2513
12-326-3	48 CLEMENCE STREET RES CONDO MDL05	MARGARET J PINGITORE DENISE L PEPPER 48 CLEMENCE STREET CRANSTON, RI 02920
12-326-4	50 CLEMENCE STREET RES CONDO MDL05	HISHAM ABDELRAHMAN 50 CLEMENCE ST CRANSTON, RI 02920-2513
12-327-0	41 TRANSIT STREET SINGLE FAM MDL01	BENNY LARACUENTE KARIN ROCA JT 41 TRANSIT ST CRANSTON, RI 02920-2569
12-328-0	38 CLEMENCE STREET TWO FAMILY	NINE HUNDRED EIGHTY NINE CORPORATION C/O LOUIS GAUTIERI JR 37 ROSEMONT AVENUE JOHNSTON, RI 02919
12-330-0	28 CLEMENCE STREET APT 6+ MDL01	GREENWICH BAY HOLDINGS II LLC 138 ATWELLS AVENUE PROVIDENCE, RI 02903-1632
12-341-0	27 CLEMENCE STREET TWO FAMILY	NATIVIDAD SANDOVAL 861 ATWOOD AVENUE CRANSTON, RI 02920-2553
12-342-0	0 ATWOOD AVENUE ACC COM LD	POPOLLA REALTY LLC 855 ATWOOD AVE CRANSTON, RI 02920
12-343-0	855 ATWOOD AVENUE LRG BUS MDL95	POPOLLA REALTY LLC 855 ATWOOD AVE CRANSTON, RI 02920
12-344-0	0 ATWOOD AVENUE ACC COM LD	POPOLLA REALTY LLC 855 ATWOOD AVE CRANSTON, RI 02920
12-345-0	0 ATWOOD AVENUE ACC COM LD	POPOLLA REALTY LLC 855 ATWOOD AVE CRANSTON, RI 02920
12-346-0	45 CLEMENCE STREET TWO FAMILY	JOSEPH M PAIVA 10 ROSEMARY LANE GREENVILLE, RI 02828
12-348-0	53 CLEMENCE STREET TWO FAMILY	LORI-ANN CARLINO DONNA M GIARRUSSO TRUSTEES 45 TRAYMORE ST CRANSTON, RI 02920
12-559-0	787 ATWOOD AVENUE MIX USE MDL94	PAUL A DICECCO 787 ATWOOD AVE CRANSTON, RI 02920

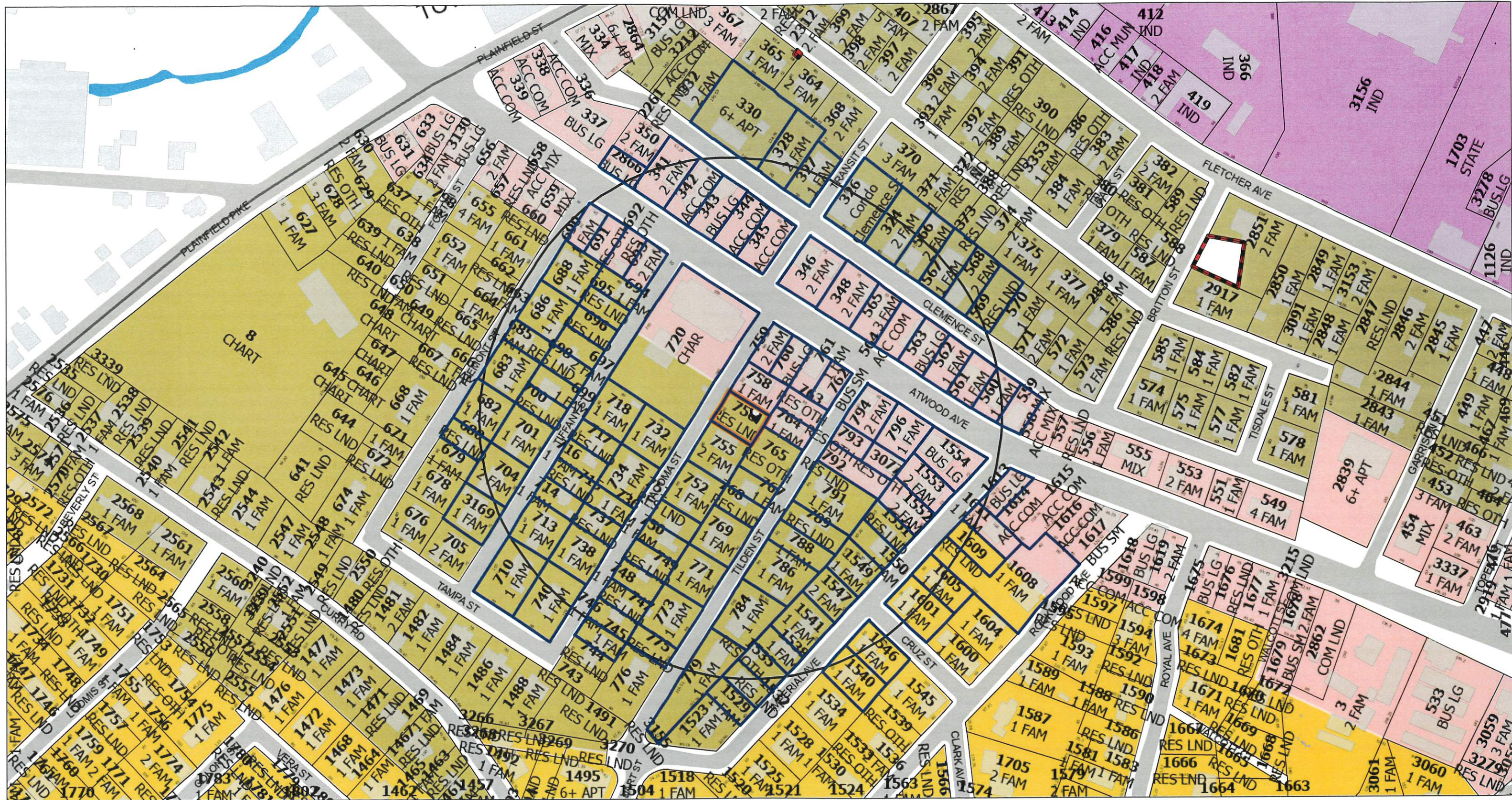
<u>Property ID</u>	<u>Location/Land Use Description</u>	<u>Owner(s)</u>
12-560-0	75 CLEMENCE STREET SINGLE FAM MDL01	GHISLAINE CADET PIERRE L CADET TE 75 CLEMENCE ST CRANSTON, RI 02920
12-561-0	73 CLEMENCE STREET SINGLE FAM MDL01	FRITZIE CUESTA WILLIAM CUESTA T/E 73 CLEMENCE STREET CRANSTON, RI 02920-2512
12-562-0	71 CLEMENCE STREET SINGLE FAM MDL01	CRYSTAL GERVAIS 71 CLEMENCE STREET CRANSTON, RI 02920-2512
12-563-0	807 ATWOOD AVENUE LRG BUS MDL94	BRIJ B CHAUDHARY ANITA CHAUDHARY T/E 807 ATWOOD AVE CRANSTON, RI 02920
12-564-0	0 ATWOOD AVENUE ACC COM LD	BRIJ B CHAUDHARY ANITA CHAUDHARY T/E 807 ATWOOD AVE CRANSTON, RI 02920
12-565-0	57 CLEMENCE STREET THREE FAM MDL01	JAY E POLO ELLEN FLANAGAN POLO T/E 100 TANNER AVE WARWICK, RI 02886
12-566-0	56 CLEMENCE STREET TWO FAMILY	JOSEPH V FLEURY 56 CLEMENCE ST Cranston, RI 02920
12-567-0	62 CLEMENCE STREET SINGLE FAM MDL01	FRANK D ROSSI JOANNE M ROSSI T/E 62 CLEMENCE STREET CRANSTON, RI 02920-2513
12-568-0	66 CLEMENCE STREET TWO FAMILY	ROBERT A RICCI 1/4 ANN MARIE LUKOWICZ LIFE ESTATE 1/4 66 CLEMENCE STREET CRANSTON, RI 02920-2513
12-569-0	0 CLEMENCE STREET RES LD UND	ROBERT A RICCI 1/4 ANN MARIE LUKOWICZ LIFE ESTATE 1/4 66 CLEMENCE STREET CRANSTON, RI 02920-2513
12-680-0	0 TREMONT STREET RES LD UND	RASHAA LYNN AL-SASAH 50 TREMONT STREET CRANSTON, RI 02920-2543
12-682-0	42 TREMONT STREET SINGLE FAM MDL01	KATHERINE M BOUCHER 42 TREMONT ST CRANSTON, RI 02920-2543
12-683-0	34 TREMONT STREET SINGLE FAM MDL01	ANTHONY E PROVENZO MARY FRANCES PROVENZO TRUSTEES 15 GREEN VALLEY DR JOHNSTON, RI 02919-2218
12-685-0	28 TREMONT STREET SINGLE FAM MDL01	PCM HOME RENTAL LLC 3 VINEYARD TERRACE JOHNSTON, RI 02919-5833
12-686-0	22 TREMONT STREET SINGLE FAM MDL01	DELLA POSTA INVESTMENTS LLC 21 CAPITOL STREET JOHNSTON, RI 02919-5903
12-688-0	10 TREMONT STREET SINGLE +ADU	MILCA FERRERAS 10 TREMONT ST CRANSTON, RI 02920-2543
12-690-0	868 ATWOOD AVENUE SINGLE FAM MDL01	LYNN M IANIERO 868 ATWOOD AVE CRANSTON, RI 02920-2554
12-691-0	0 ATWOOD AVENUE RES OTH IM MDL00	LYNN M IANIERO 868 ATWOOD AVE CRANSTON, RI 02920-2554
12-692-0	0 ATWOOD AVENUE RES OTH IM MDL00	ELENA CIORLANO MALISSA WHALEN JT 856 ATWOOD AVE CRANSTON, RI 02920-2554
12-693-0	856 ATWOOD AVENUE TWO FAMILY	ELENA CIORLANO MALISSA WHALEN JT 856 ATWOOD AVE CRANSTON, RI 02920-2554


<u>Property ID</u>	<u>Location/Land Use Description</u>	<u>Owner(s)</u>
12-694-0	3 TIFFANY STREET SINGLE FAM MDL01	JAMES M PAGLIARINI DOREEN M PAGLIARINI T/E 720 PUTNAM PIKE UNIT 512 GREENVILLE, RI 02828-1462
12-695-0	TIFFANY STREET RES LD UND	JAMES M PAGLIARINI DOREEN M PAGLIARINI T/E 720 PUTNAM PIKE UNIT 512 GREENVILLE, RI 02828-1462
12-696-0	TIFFANY STREET RES LD UND	JAMES M PAGLIARINI DOREEN M PAGLIARINI T/E 720 PUTNAM PIKE UNIT 512 GREENVILLE, RI 02828-1462
12-697-0	27 TIFFANY STREET TWO FAMILY	FILOMENA DIPRETE LIFE ESTATE 27 TIFFANY STREET CRANSTON, RI 02920-2322
12-698-0	0 TIFFANY STREET RES LD UND	FILOMENA DIPRETE LIFE ESTATE 27 TIFFANY ST CRANSTON, RI 02920-2322
12-699-0	33 TIFFANY STREET SINGLE FAM MDL01	RAMONA GERMOSEN 33 TIFFANY ST CRANSTON, RI 02920-2322
12-700-0	0 TIFFANY STREET RES LD UND	RAMONA GERMOSEN 33 TIFFANY ST CRANSTON, RI 02920
12-701-0	41 TIFFANY STREET SINGLE FAM MDL01	TONY V TREK VERONICA TREK T/E 41 TIFFANY ST CRANSTON, RI 02920
12-704-0	49 TIFFANY STREET TWO FAMILY	DAVID RUGGIERO ELAINE RUGGIERO T/E 49 TIFFANY STREET CRANSTON, RI 02920
12-710-0	60 TIFFANY STREET SINGLE FAM MDL01	RUSSELL CARPENTER 60 TIFFANY STREET CRANSTON, RI 02920-2323
12-713-0	52 TIFFANY STREET SINGLE FAM MDL01	DULCE BATISTA MARTIRES GERMOSEN T/E 52 TIFFANY STREET CRANSTON, RI 02920
12-714-0	44 TIFFANY STREET SINGLE FAM MDL01	ROBELIO D JULIAN MONA F JULIAN T/E 44 TIFFANY STREET CRANSTON, RI 02920-2323
12-715-0	0 TIFFANY STREET RES LD UND	ROBELIO D JULIAN MONA F JULIAN T/E 44 TIFFANY ST CRANSTON, RI 02920
12-716-0	36 TIFFANY STREET SINGLE FAM MDL01	THOMAS P IASIMONE KELSEY I IASIMONE T/E 36 TIFFANY ST CRANSTON, RI 02920-2323
12-717-0	0 TIFFANY STREET RES LD UND	THOMAS P IASIMONE KELSEY I IASIMONE T/E 36 TIFFANY ST CRANSTON, RI 02920-2323
12-718-0	28 TIFFANY STREET SINGLE FAM MDL01	DONNA MARIE M BYERS DAVID ROSS BYERS T/E 28 TIFFANY STREET CRANSTON, RI 02920-2323
12-720-0	844 ATWOOD AVENUE CHARITABLE MDL94	COMPREHENSIVE COMMUNITY ACTION INC 311 DORIC AVENUE CRANSTON, RI 02910
12-732-0	29 TACOMA STREET SINGLE FAM MDL01	TSA PROPERTIES LLC 135 MARLOW ST CRANSTON, RI 02920-2150
12-734-0	37 TACOMA STREET SINGLE FAM MDL01	DOLORES DIPAOLO LIFE ESTATE 37 TACOMA STREET CRANSTON, RI 02920-2323
12-736-0	45 TACOMA STREET SINGLE FAM MDL01	ASHLEY MAROCCO 45 TACOMA ST CRANSTON, RI 02920-2320

<u>Property ID</u>	<u>Location/Land Use Description</u>	<u>Owner(s)</u>
12-737-0	0 TACOMA STREET RES LD UND	ASHLEY MAROCCO 45 TACOMA ST CRANSTON, RI 02920-2320
12-738-0	53 TACOMA STREET SINGLE FAM MDL01	TODD CAMBIO 53 TACOMA ST CRANSTON, RI 02920-2320
12-740-0	59 TACOMA STREET SINGLE FAM MDL01	CARL G MANCUSO CHERYL MANCUSO T/E 59 TACOMA STREET CRANSTON, RI 02920-2320
12-745-0	64 TACOMA STREET SINGLE FAM MDL01	HENRY RODARTE CAROLYN RODARTE T/E 64 TACOMA ST CRANSTON, RI 02920
12-746-0	58 TACOMA STREET SINGLE FAM MDL01	CHRISTINA J WYLAND 58 TACOMA STREET CRANSTON, RI 02920-2321
12-747-0	0 TACOMA STREET RES LD UND	CHRISTINA J WYLAND 58 TACOMA STREET CRANSTON, RI 02920-2321
12-748-0	50 TACOMA STREET SINGLE FAM MDL01	BREANNA E MELLO 50 TACOMA ST CRANSTON, RI 02920-2321
12-749-0	0 TACOMA STREET RES LD UND	BREANNA E MELLO 50 TACOMA ST CRANSTON, RI 02920-2321
12-750-0	42 TACOMA STREET SINGLE FAM MDL01	BRIDGET A GRELLE 42 TACOMA STREET CRANSTON, RI 02920
12-751-0	0 TACOMA STREET RES LD UND	BRIDGET A GRELLE 42 TACOMA STREET CRANSTON, RI 02920
12-752-0	34 TACOMA STREET SINGLE FAM MDL01	MANUEL PHILLIPS JEANNIE PHILLIPS T/E 34 TACOMA STREET CRANSTON, RI 02920-2321
12-755-0	24 TACOMA STREET TWO FAMILY	MOHAMAD ZEYAD SASA 107 CREST DR CRANSTON, RI 02921-3313
12-756-0	0 TACOMA STREET RES LD UND	ANNA L STORTI LIFE ESTATE C/O DEBRA SOHEGAN 218 LAKE GARDEN DRIVE CRANSTON, RI 02920-1208
12-758-0	12 TACOMA STREET SINGLE FAM MDL01	ANNA L STORTI LIFE ESTATE C/O DEBRA SOHEGAN 218 LAKE GARDEN DRIVE CRANSTON, RI 02920-1208
12-759-0	832 ATWOOD AVENUE TWO FAMILY	LPI PROPERTIES LLC VASQUEZ PROPERTIES LLC 485 GREENVILLE AVENUE C/O RICHARD LAFAZIA JOHNSTON, RI 02919-222
12-760-0	828 ATWOOD AVENUE LRG BUS MDL94	CELESTE PROPERTIES LLC 90 SALEM AVENUE CRANSTON, RI 02920-6206
12-761-0	822 ATWOOD AVENUE SINGLE FAM MDL01	JOHN S TORTOLANI ESTATE 822 ATWOOD AVENUE CRANSTON, RI 02920-2507
12-762-0	0 ATWOOD AVENUE SML BUS MDL00	JOHN S TORTOLANI ESTATE 822 ATWOOD AVENUE CRANSTON, RI 02920-2507
12-763-0	0 TILDEN STREET RES OTH IM MDL00	JOLANTA MISIAK 15 TILDEN STREET CRANSTON, RI 02920-2324
12-764-0	15 TILDEN STREET SINGLE FAM MDL01	JOLANTA MISIAK 15 TILDEN STREET CRANSTON, RI 02920-2324

<u>Property ID</u>	<u>Location/Land Use Description</u>	<u>Owner(s)</u>
12-765-0	0 TILDEN STREET RES OTH IM MDL00	MOHAMAD ZEYAD SASA 107 CREST DR CRANSTON, RI 02921-3313
12-767-0	29 TILDEN STREET SINGLE FAM MDL01	ARRIANA M FISKE 29 TILDEN ST CRANSTON, RI 02920-2324
12-768-0	0 TILDEN STREET RES LD UND	ARRIANA M FISKE 29 TILDEN ST CRANSTON, RI 02920-2324
12-769-0	37 TILDEN STREET SINGLE FAM MDL01	FRANCES M KARNES TRUSTEE 37 TILDEN STREET CRANSTON, RI 02920-2324
12-771-0	45 TILDEN STREET SINGLE FAM MDL01	RAYMOND A BRIGIDI LIFE ESTATE 45 TILDEN ST CRANSTON, RI 02920-2324
12-773-0	51 TILDEN STREET SINGLE +ADU	RATHA OU SINA MEN JT 51 TILDEN ST CRANSTON, RI 02920-2324
12-775-0	0 TILDEN STREET RES LD UND	CHRISTINA J WYLAND 58 TACOMA STREET CRANSTON, RI 02920-2321
12-779-0	66 TILDEN STREET SINGLE FAM MDL01	PATRICIA A DEBELLIS 46 TILDEN ST CRANSTON, RI 02920-2325
12-784-0	46 TILDEN STREET SINGLE FAM MDL01	PATRICIA A DEBELLIS 46 TILDEN ST CRANSTON, RI 02920-2325
12-786-0	36 TILDEN STREET SINGLE FAM MDL01	DOMENIC M DECIANTIS LIFE ESTATE 36 TILDEN STREET CRANSTON, RI 02920
12-788-0	30 TILDEN STREET SINGLE FAM MDL01	JOYCE S MESOLELLA ESTATE 30 TILDEN STREET CRANSTON, RI 02920-2325
12-789-0	TILDEN STREET RES LD UND	JOYCE S MESOLELLA ESTATE 30 TILDEN STREET CRANSTON, RI 02920-2325
12-791-0	24 TILDEN STREET SINGLE FAM MDL01	DOREEN F RICCI 1441 SCITUATE AVE CRANSTON, RI 02921
12-792-0	0 TILDEN STREET RES LD UND	DOREEN F RICCI 1441 SCITUATE AVE CRANSTON, RI 02921
12-793-0	0 TILDEN STREET RES OTH IM MDL00	DOREEN F RICCI 1441 SCITUATE AVE CRANSTON, RI 02921
12-794-0	814 ATWOOD AVENUE TWO FAMILY	DOREEN F RICCI 1441 SCITUATE AVE CRANSTON, RI 02921
12-796-0	806 ATWOOD AVENUE SINGLE FAM MDL01	JEFFREY HENDERSON 12006 SW 9TH MANOR DAVIE, FL 33325-3855

0 Tacoma St 400' Radius Plat 12 Lot 756





City of Cranston
Vigilo
1754 - 1910

Legend

- ParcelsInBuffer
- SelectedParcelsBuffer
- SelectedParcels
- Labels_Radius Maps_Lot and LU v2
- Streets Names

Hydro Poly 2001

- Stream/Water Body
- Swamp
- Buildings
- Cranston Boundary
- Easements partial
- Parcels

Cemeteries

- Cranston Boundary
- Roads
- Historic Overlay District

Zoning

- A12
- A20
- A6
- A8
- A80
- B1
- B2
- C1
- C2
- C3
- C4
- C5
- E1
- M1
- M2
- MPD
- Other
- S1

Map Scale

0 200 400 ft

Map Scale: 1:2,531

*Scale bar formatted at 1:2400 scale

Map created by Web Application on 5/5/2025 10:01 AM

Disclaimer: This map/data/geospatial product is not the product of a Professional Land Survey. It was created for general reference, informational, planning and guidance use and is not a legally authoritative source as to location of natural or manmade features. Proper interpretation of this data may require the assistance of appropriate professional services. The City of Cranston makes no warranty, expressed or implied related to the spatial accuracy, reliability, completeness or currentness of this map/data.